



FI REAL ESTATE
MANAGEMENT

BOTANY HILL

**PLANNING APPLICATION
PUBLIC CONSULTATION**

LOCAL PLAN 2015 EXTRACT

Chorley Local Plan (2012-2026) Policies Map Adopted Edition July 2015 Chorley Inset - Map 2

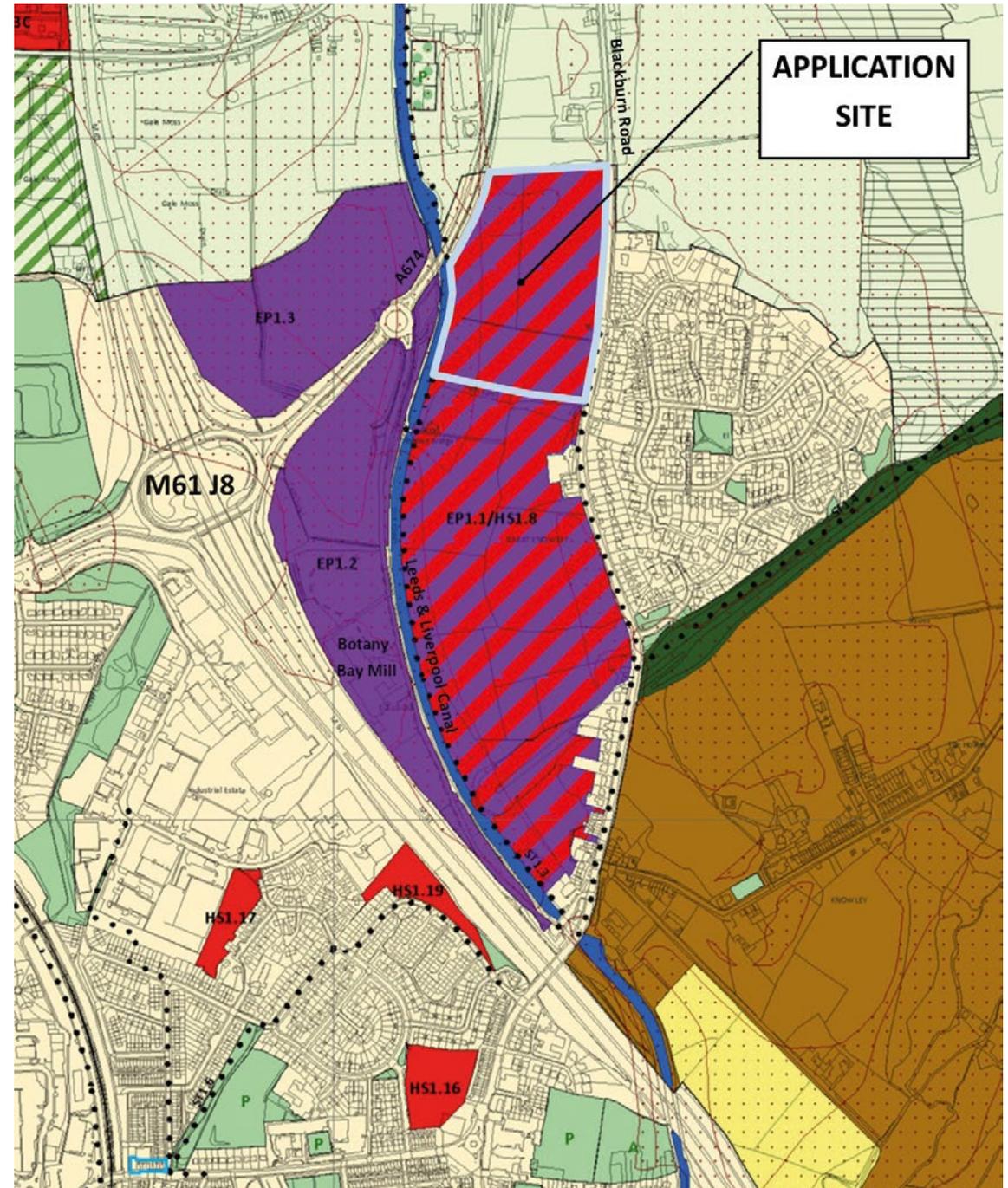


Key

- | | |
|--|---|
| BNE2 - Area of Other Open Countryside | HW2 - Existing Sport & Recreational Facilities (Green Belt) |
| BNE3 - Safeguarded Land | HW2 - Existing Sport & Recreational Facilities |
| BNE4 - Areas of Separation | HW3 - Valley Parks |
| BNE5 - Previously Developed Sites in the Green Belt | HW4 - Leeds and Liverpool Canal |
| BNE8 - Historic Parks and Gardens | HW5 - Existing Allotments (Green Belt) |
| BNE8 - Conservation Areas | HW5 - Existing Allotments |
| BNE8 - Locally Important Areas | ST1 - New Cycle Routes |
| EP1 - Employment Allocations | ST1 - Recreational Footpaths |
| EP1/HS1 - Mixed Use Allocations (Employment/Housing) | ST2 - Railway Line |
| HS1.5/EP1.6/HS11 - Mixed Use Allocations (Housing/Employment/Permanent Traveller Site) | ST2 - Rail Facilities |
| EP7 - District and Local Centres | V2 - Settlement Areas |
| EP11 - Further and Higher Education Facilities | Biological Heritage Sites |
| HS1 - Housing Allocations | Buckshaw Village Strategic Site |
| HW2 - Existing Open Space (Green Belt) | Green Belt |
| HW2 - Existing Open Space | Mineral Safeguarding Areas |

Scale 1:7,500

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SUMMARY

ECONOMIC

- 163 construction jobs to be created over the construction phase of the project.
- Skills and training opportunities given in construction phase
- Value of construction jobs £7.8m over construction period.
- 392 permanent jobs to be created.
- 235 potential permanent jobs to be created within support services/sectors.
- Value of permanent jobs £14.3m per annum or £143m over the first ten years of development.
- Business Rates estimated to be circa £1.9m per annum.
- Range of social value benefits at construction stage and once development operational.

TRANSPORTATION

- Highly accessible site.
- Accessible by all modes of travel.
- Combined with Botany Bay Business Park delivery of a considerable number and value of transportation benefits including improvements to the local road network.

PLANNING & CORPORATE TARGETS

- Delivery of an important strategic development allocation in the Chorley Local Plan.
- The resultant development will deliver planned growth.
- High quality development providing jobs for local people.

SUSTAINABILITY

- Sustainable green development.
- Landscaping
- Retained trees and hedges.
- Ecology mitigation and benefits.
- Green roofs and other green features.

LAYOUT & DESIGN

- Optimum layout.
- High quality design.
- Design makes use of slope to minimise appearance of development.
- Sustainable materials.
- Modern and much in demand high quality employment units.

HOW TO COMMENT

We would like you receive your comments. You can do so by completing a form provided or you can email us at publicconsultation@botanyhill.co.uk

Alternatively you can comment direct to Chorley Council on its website chorley.gov.uk on the following link: <https://chorley.gov.uk/article/1493/View-or-comment-on-a-planning-application>

Search for planning application 22/01243/FULMAJ and follow the online instructions to submit your comments.

BOTANY BAY HILL

PROPOSED EMPLOYMENT PARK

INTRODUCTION

Welcome. This exhibition presents FI Real Estate Management Ltd's ("FIREM") current plans for a new Employment Park at land known as "Botany Bay Hill". And it is an opportunity for you to view and provide your comments.

BACKGROUND

- The site and wider area was allocated for a mix of employment and housing uses in the Chorley Local Plan, adopted in 2015

[see Proposals Map extract with site location highlighted]

- In 2017 permissions were granted for development of a mix of retail, hotel and leisure uses at Botany Bay; employment on land north of the A764 and housing to the east of the canal.
- In 2021 proposals were changed at Botany Bay for a Business Park which was approved in 2023 and is now under construction.
- In late 2022 the current Employment Park proposals for Botany Bay Hill were submitted to the council. The employment proposal is in line with the 2015 Local Plan allocation.

PAST CONSULTATION

Views have been sought at various times in the past on development in this area:

- Early 2010s – Council consultation on preparation of Local Plan, and public inquiry, on proposed allocations
- 2017 – Developer consultation on proposals for mixed-use development at Botany Bay and surrounding land
- 2021 – Developer consultation on Botany Bay Business Park proposals

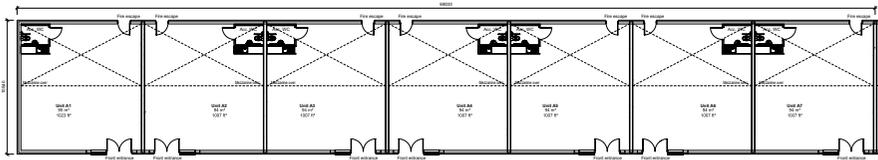
Feedback from successive consultation and the Local Plan has shaped the Employment Park proposals. Through the application process, Planning Officers have provided resident and statutory consultee comments to help refine and shape the proposals.

Recent conversations with local councillors on behalf of residents has led to this fresh consultation to allow more people to view and comment on the Employment Park proposals at Botany Bay Hill.

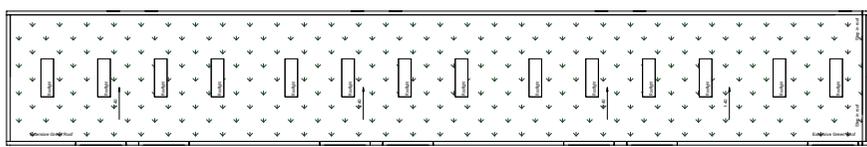
The following boards set out the proposals and summarise findings on key issues of design, ecology, trees and transport.

We welcome your comments and details of how can do so are provided at the end.

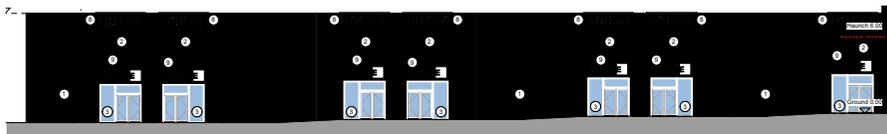
PROPOSED LAYOUT



GROUND FLOOR PLAN (A1 TO A7)



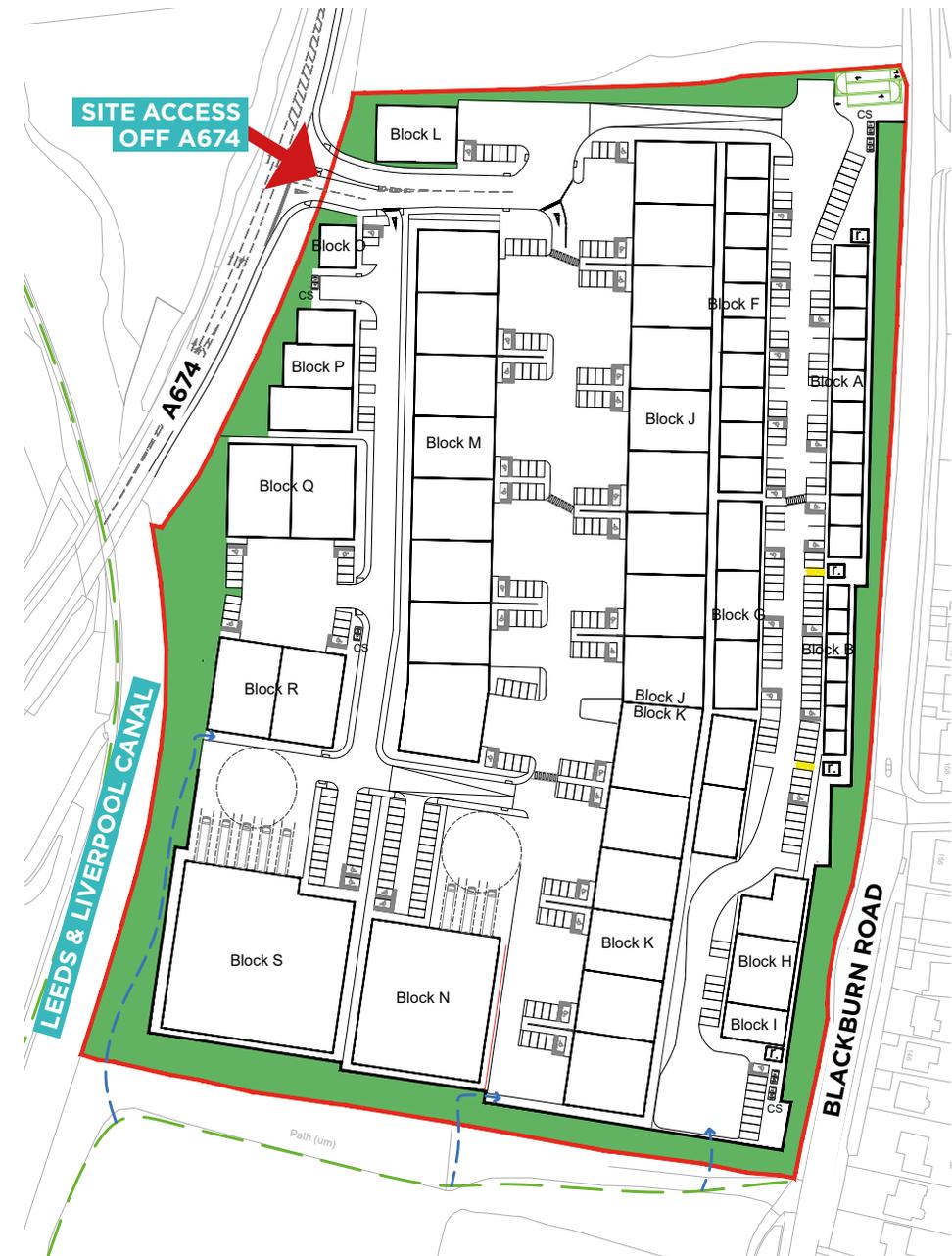
ROOF PLAN (A1 TO A7)



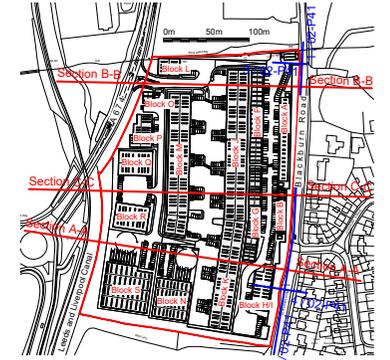
PROPOSED FRONT ELEVATION (WEST)(A1/A7)



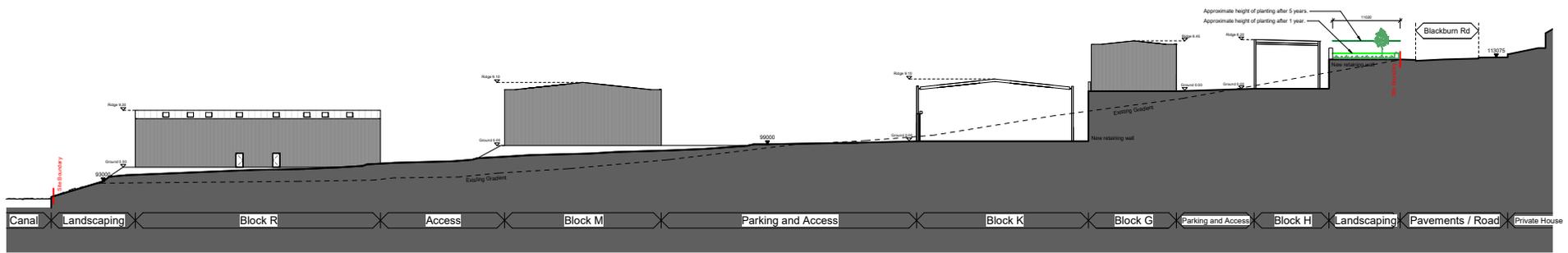
PROPOSED REAR ELEVATION (EAST)(A1/A7)



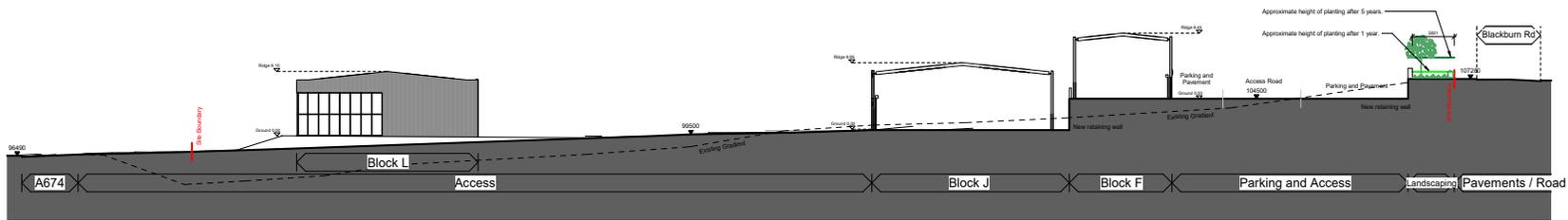
SECTION PLAN



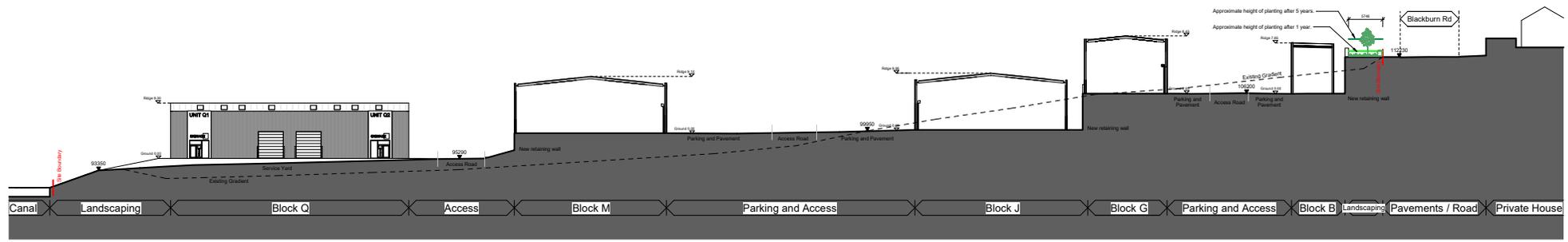
Planning Section Locations
Scale 1:500



1 Planning Site Section A-A
Scale 1:250

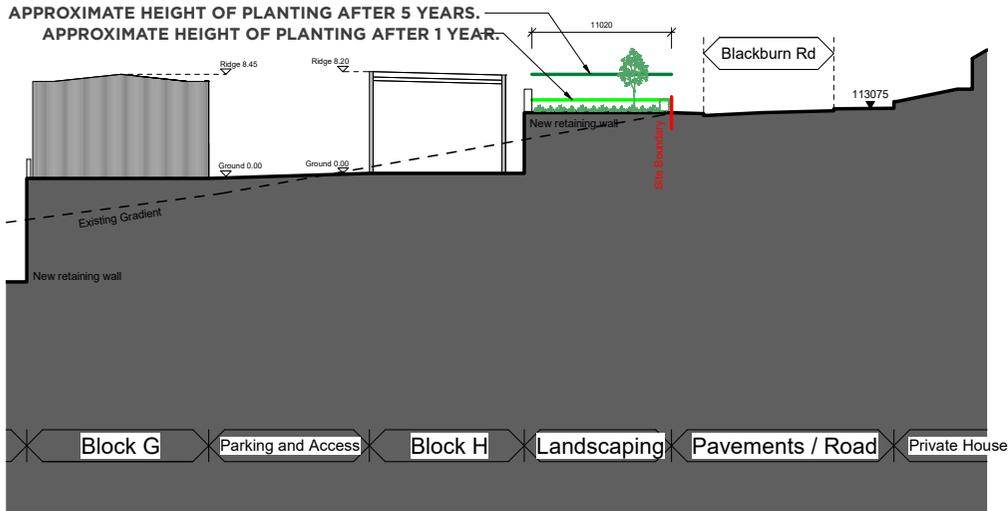


2 Planning Site Section B-B
Scale 1:250

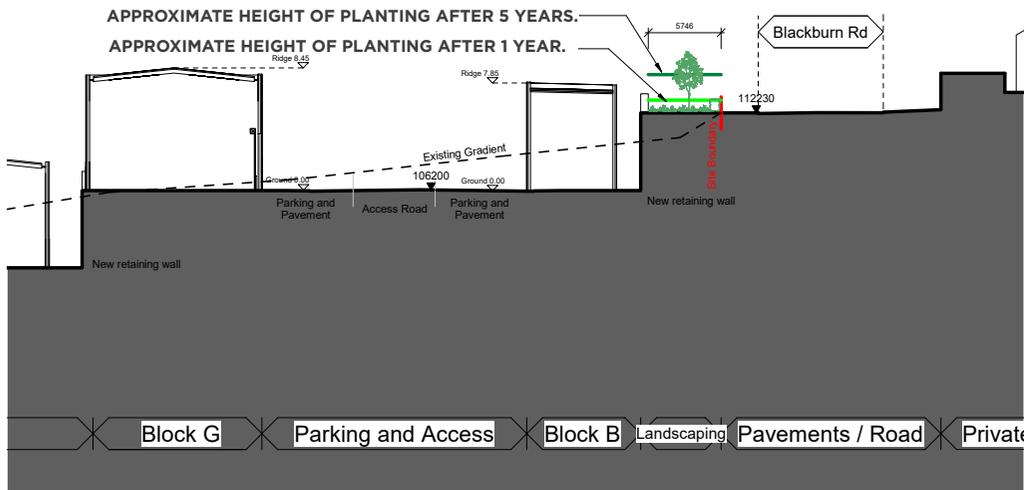


3 Planning Site Section C-C
Scale 1:250

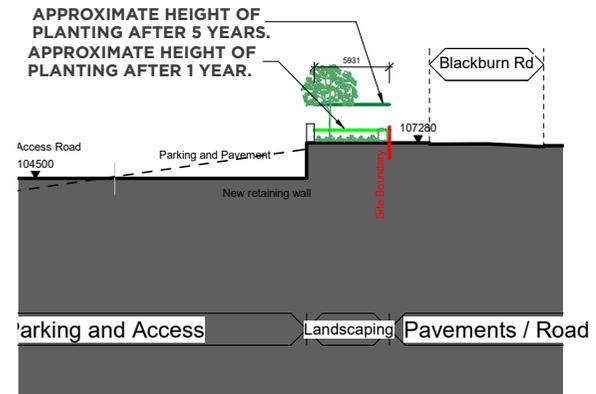
SECTION PLAN



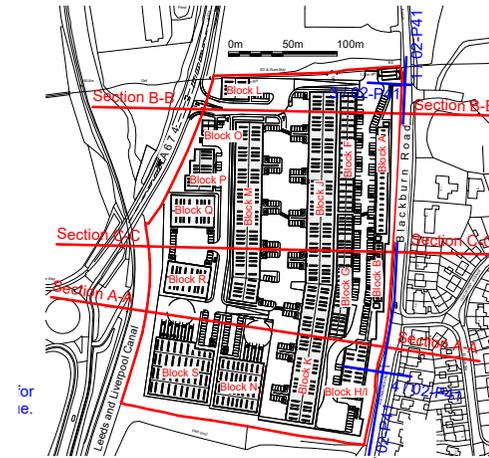
1 Planning Site Section A-A
Scale 1 : 250



3 Planning Site Section C-C
Scale 1 : 250

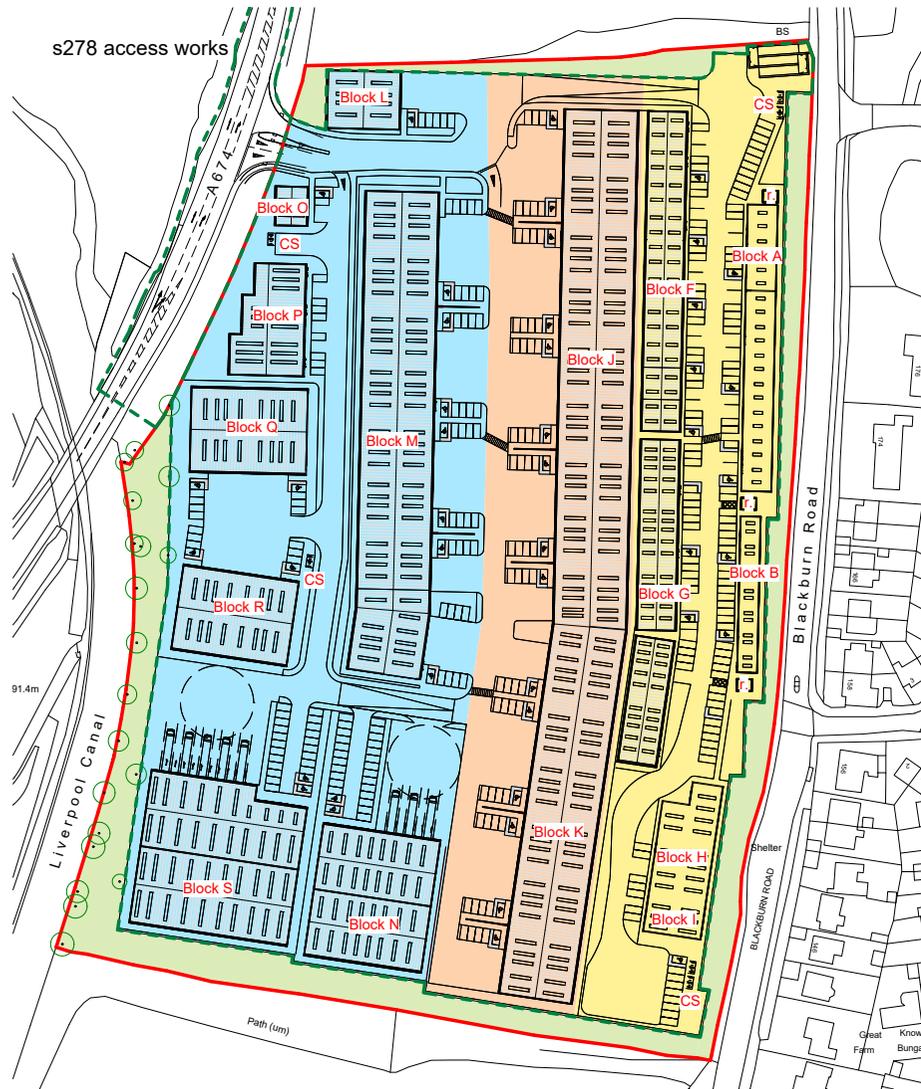


2 Planning Site Section B-B
Scale 1 : 250



Planning Section Locations
Scale 1 : 2000

PHASING PLAN



Site Phasing Legend

- - - Phase 1 enabling works and s278 works - years 1-2
- Phase 2a structural landscaping - year 2
- Phase 2b lower level build - years 2-3
- Phase 3 middle level build - years 3-4
- Phase 4 upper level build - years 4-5

PROPOSED VISUALS

VIEW FROM BLACKBURN ROAD



Existing View



Illustrative visualisation of planting after year 1



Illustrative visualisation of planting after 5 years +

PROPOSED VISUALS

VIEW FROM GUILDFORD AVENUE



Existing View from 150 Guildford Avenue



Illustrative visualisation of planting after year 1



Illustrative visualisation of planting after 5 years +

PROPOSED VISUALS

VIEW FROM
150 BLACKBURN ROAD



Existing View from 150 Blackburn Road

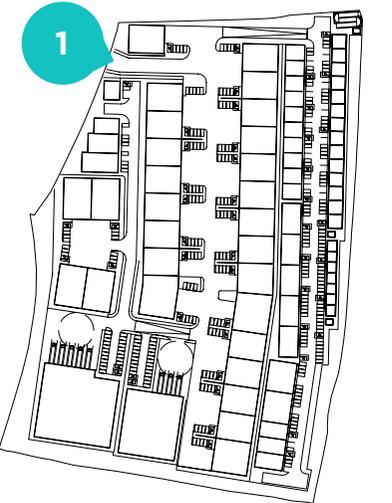


Illustrative visualisation of planting at Year 1



Illustrative visualisation of planting after 5 years

PROPOSED VISUAL SHOWING THE NEW DEVELOPMENT AND SITE ENTRANCE FROM THE A674 TO THE WEST



LANDSCAPE & ECOLOGY



ECOLOGY MATTERS

The site is greenfield but is not a protected ecological site nationally or locally. Extensive surveys have been conducted including for a range of protected species and review of existing records, leading to scoping out of a number of species including reptiles, badgers and otter.

Surveys for great crested newts did not identify presence on site or in two nearby ponds. Bat surveys recorded a low number of common pipistrelle bats passing along hedgerows and trees at the site boundaries. Eight boundary trees were assessed to have potential for roosting bats, but no evidence of current use found. A low to moderate number of protected bird species were identified from field surveys in or around the site. Some species are noted to have been attracted by current lack of grazing and turned soil.

Biodiversity mitigation measures will include:

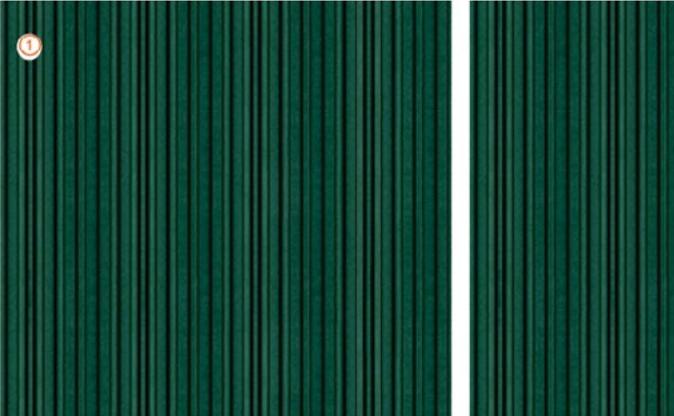
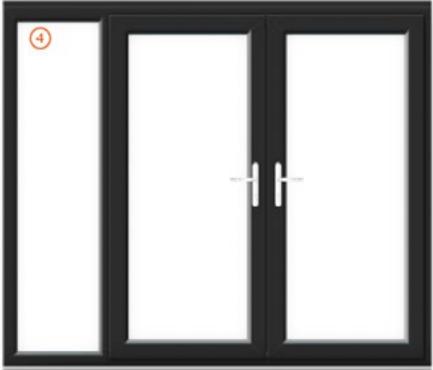
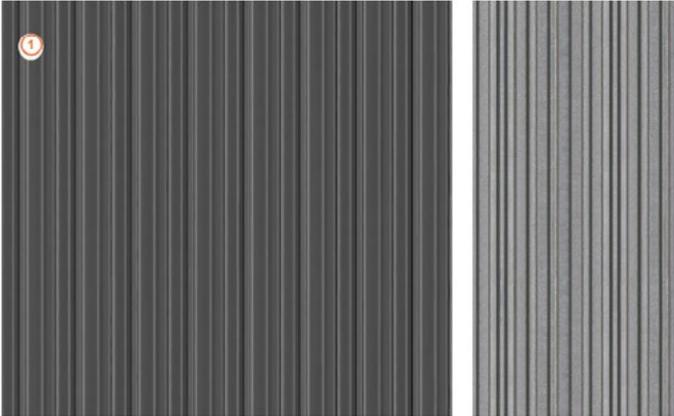
- Retention all except one tree on the site boundary
- Planting of 15 native trees within the site
- Planting of 264m of native / non-ornamental hedgerow (compensate for 162m length lost)
- Bird and bat boxes throughout site
- Green roofs to selected units
- Offsite pond formation to replace one onsite pond
- Treatment and eradication of invasive species on site
- Biodiversity Net Gain of 10% over existing baseline to be achieved overall

COMMENTS

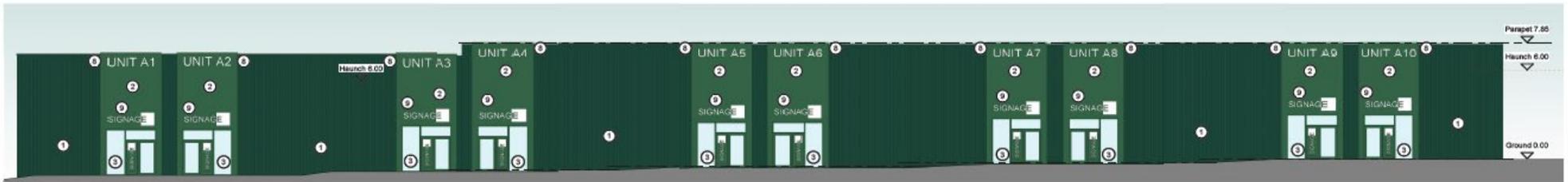
HEIGHT OF DEVELOPMENT	
Concern on height of buildings to Blackburn Road, thought would be higher (seen visuals circulated, by member of residents committee)	Concern on height of buildings to Blackburn Road, thought would be higher (seen visuals circulated, by member of residents committee)
VIEWS	
Dramatical and unacceptable changes to the view from the motorway and how Chorley / Great Knowley is seen	Dramatical and unacceptable changes to the view from the motorway and how Chorley / Great Knowley is seen
Ruining the views from Blackburn Road	The development will be stepped down the hillside on terraces with buildings both screened at Blackburn Road and receding from view. Long range views will remain over the valley, particularly from homes which are elevated above Blackburn Road.
The planning application will be a blight on the landscape and an eyesore	The application shows that the build will be into the hillside and not dramatically affect the views that residents currently enjoy.
VISUALS OF DEVELOPMENT	
Colour and appearance of proposed units, and comparison / comments on Botany Bay Business Park u-/const	The colour of units (cladding) is for agreement with the Council, and two options for a grey or green cladding are now proposed. Potentially a blend could be used, for example green to rear of units at the site edge to blend with landscaping.
Will overwhelm any plans to keep Chorley as a market town. Access will cause more congestion, pollution, noise, loss of trees, ignores canal community benefit, no attention to environment Act and Wildlife countryside Act 1981.	The development does not encroach on the town centre of Chorley and the status of it being a market town will not be affected. There is no evidence that the development will cause pollution or noise of an increased level and only 1 tree is to be felled within the application. The canal and the towpath will not be affected by the development. All relevant ecology reports and recommendations have been made for the approval of the local authority in line with statutory requirements.
ECOLOGY / ENVIRONMENT	
Development should no be passed as landscape and ecology should be protected, Chorley doesn't need more industrial sites. A674 already busy	The site is allocated in the 2015 Local Plan for mixed-use development, including employment use to meet evidenced needs. Transport Assessment has shown the proposed development and associated traffic movements can be accommodated on the local road network and FIREM is already committed to a range of junction and highway improvements in connection with wider development at Botany Bay.
No need for more industrial units, land is green space - not brownfield . Increase in traffic will be an issue	The land is not Green Belt and is allocated in the 2015 Local Plan for mixed employment / housing use with land to the south. As stated above Transport Assessment and planned highway improvements show the proposals can be accommodated on the local road network.
CHANGE OF PLANNING ALREADY APPROVED	
Application drastically different from the original proposal approved	This is correct; the market for commercial buildings is stronger than housing and it accords with the Local Plan allocation. Moreover, unlike housing the employment use will not place more strain on local amenities such as school places and health care provision.
Consultation is too late, should have been sooner	We take on board and agree that we consultation should have been undertaken earlier.
Change from housing to employment permission	The permission for the developments in line with Chorley Planning Policy which states the land can be developed as employment or residential use.
HIGHWAYS /TRANSPORT	
The permission for the developments in line with Chorley Planning Policy which states the land can be developed as employment or residential use.	The current permission granted to the Botany Bay scheme includes a package of highway improvements which is designed to accommodate this development and others on the allocated land in the future. This includes schemes to improve the highway from the Wheelton junction on the A674 at Blackburn Road through junctions up to the Hospital roundabout. Improvements are being designed in partnership with Lancashire County Council and Highways England.
Roads not suitable to take the increase in traffic, air pollution and noise levels	Full surveys for air, noise and traffic have been undertaken and can be viewed on the Chorley Council planning portal and demonstrate no material harm will arise with standard measures to control plant noise, emissions and so forth.

MATERIALS

ALTERNATIVE CLADDING COLOURS

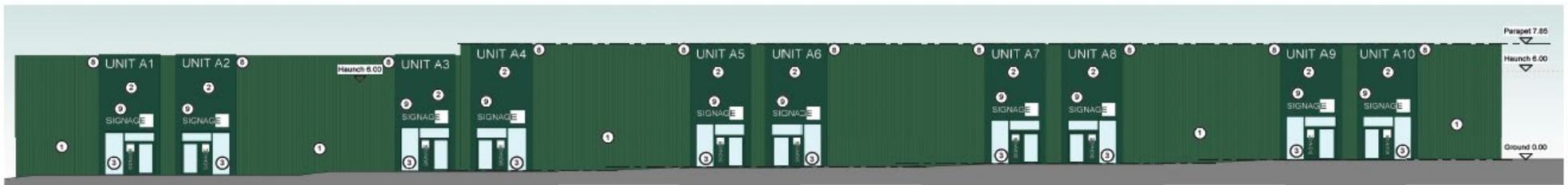


MATERIALS



1 Proposed Front Elevation (West) A1 to A10) Green Cladding

Scale 1:100



2 Proposed Front Elevation (West) A1 to A10) Green Cladding Option 2

Scale 1:100



3 Proposed Front Elevation (West) A1 to A10) Grey Cladding

Scale 1:100

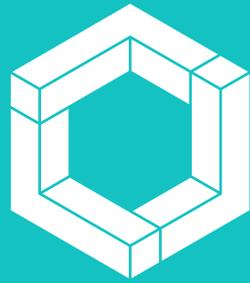
Materials Legend

- | | |
|---|--|
| <p>1 Main Cladding Panel: Vertical Composite Cladding Panel.
Colour: TBC</p> <p>2 Feature Cladding Panel: Horizontal Flat Composite Cladding Panel.
Colour: TBC</p> <p>3 Pedestrian doors, side lights and fanlights and all flashings: PPC Aluminium.
Colour: To match feature cladding panel</p> <p>4 Pedestrian doors, side lights and fanlights and all flashings: PPC Aluminium.
Colour: To match feature cladding panel</p> | <p>6 Roof : Extensive green roof</p> <p>7 Rooflights</p> <p>8 Wall mounted building signage</p> <p>9 Wall mounted tenant signage</p> |
|---|--|



COMPLETED FIREM DEVELOPMENTS

Illustrations of recently completed developments by FIREM show the clean design of modern commercial units, landscaping and materials to provide a high-quality business environment as is planned at Botany Bay Hill.



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